

NOTE :

- 1).
- check all boundary pegs prior to construction
- 2).
- confirm all dimensions on site prior to construction

LEGAL DESCRIPTION

LOT

=

2 & 3

PLAN

=

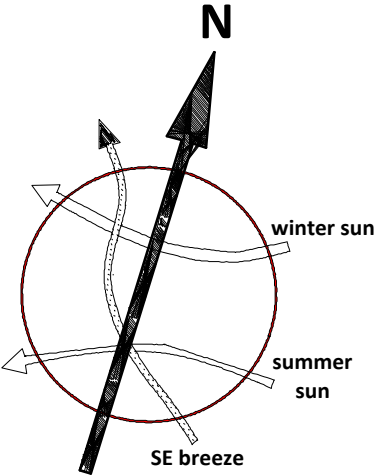
SO 2235

AREA OF SITE

=

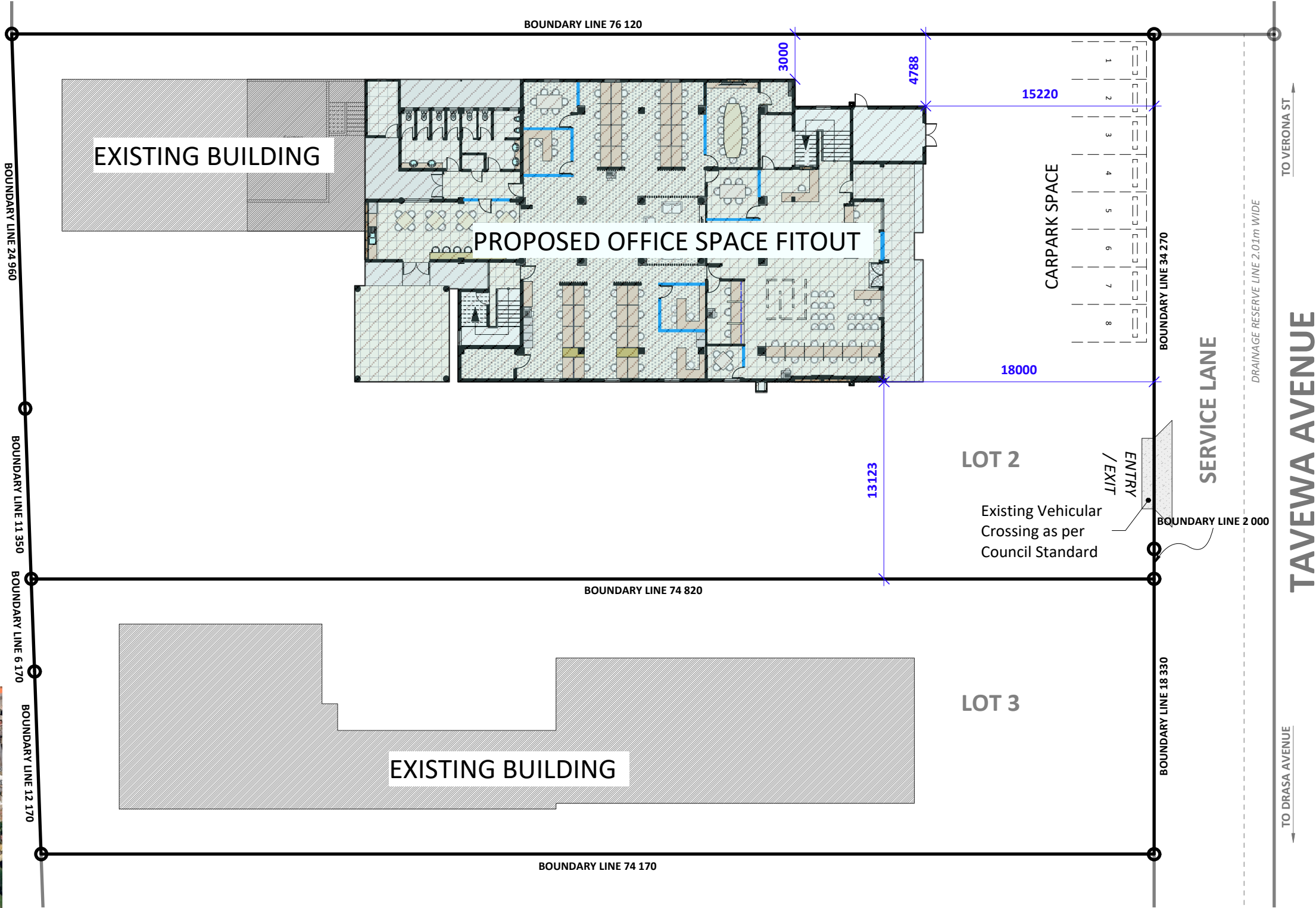
2737 m² & 1365 m²

[AS FOLLOWS]



LOCALITY PLAN

NTS



SITE PLAN
SCALE 1:300

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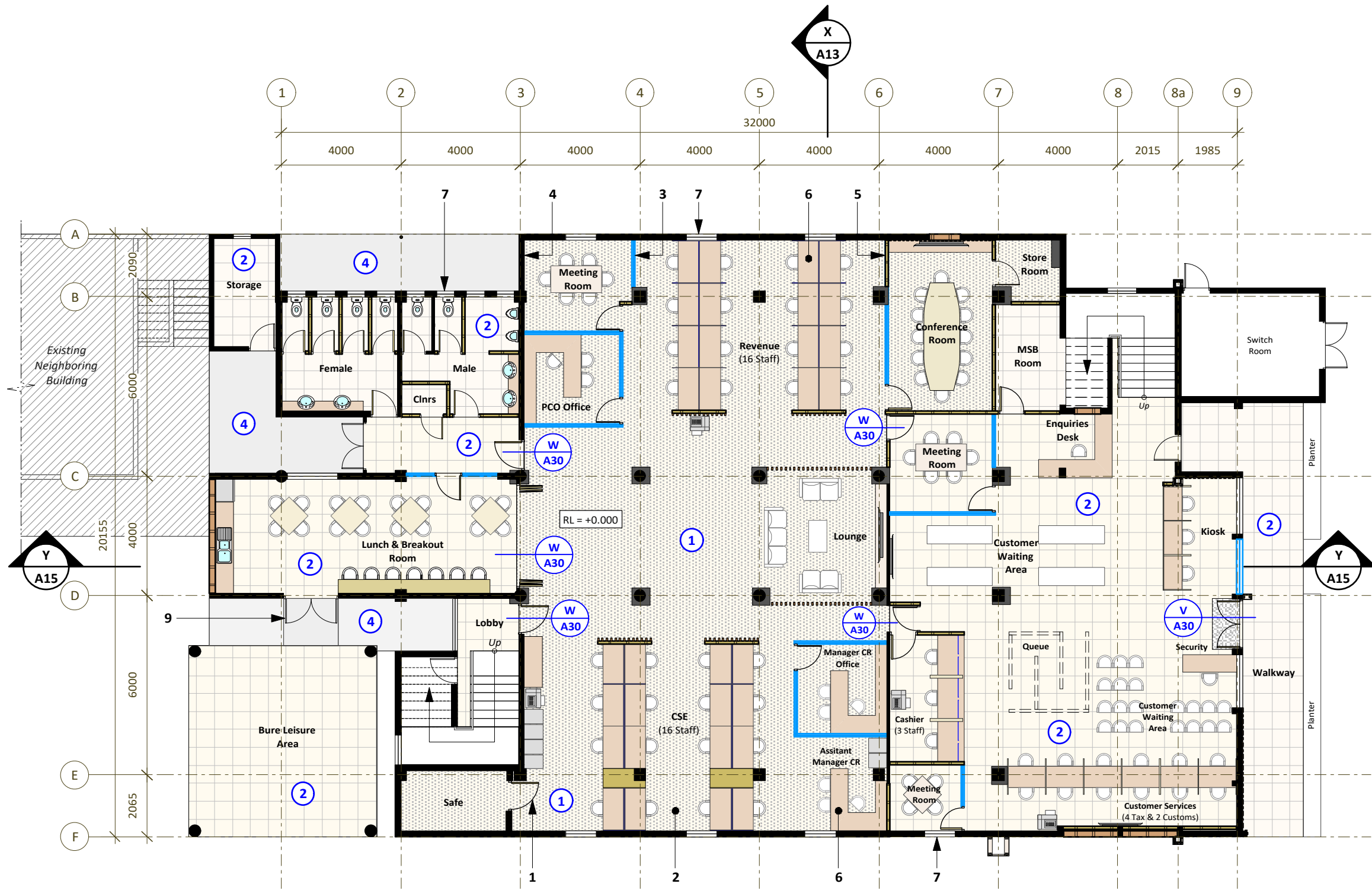


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PROJECT
FIJI REVENUE AND CUSTOMS SERVICE
PROPOSED OFFICE FITOUT & UPGRADE WORKS
LOT 2 & 3 ON SO 2235, TAVEWA AVENUE, KINGS ROAD,
LAUTOKA.

SHEET TITLE	
SITE & LOCALITY PLAN	
REV.	

DESIGN	: B. L	PROJECT NO.	02224
DRAWN	: K.S.K	SHEET NO.	
DATE	: JUN 2024	A00	
SCALE	: 1 : 300		
REVISION	:		



PROPOSED GROUND FLOOR PLAN
SCALE 1:150

KEY TO EXTERIOR ELEVATIONS

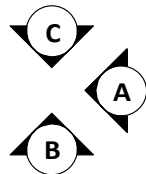


IMAGE REFERENCE



NOTE:

- Contractor to inspect the site and take measurements prior to providing a quotation.
- Contractor to liaise with Owner and cater away all demolished materials if not required by Client.
- Whole of interior & exterior walls to be painted finish as per Design Consultants instructions.
- Allow to provide timber skirting to all internal walls, as per detail.
- All floor tiles to be laid as per Design Consultants instruction.
- Contractor to allow to make good to all existing walls where new service lines will be installed.
- Contractor to allow to provide window blinds to all existing exterior windows. New blinds to match existing.

NUMBER REFERENCE:

- New Door / Window, refer schedule for details.
- New floor finishes on existing concrete floor slab.
- New Aluminium fixed glazing wall as per detail.
- Existing Walls to remain, allow to glaze & paint finish to match new. Allow to protect from damages during construction.
- New Rondo framing walls with 13mm Gib Board from both-sides, painted finish as per new colour scheme. Refer sheet **A21** for Wall Section & Details.
- New joinery, refer to Joinery drawings for layout & details.
- Existing Windows to remain. Allow to protect from damage during construction. Allow to provide new window blinds to exterior windows, new blinds to match existing.
- Existing Door to remain. Allow to protect from damage during construction. Refer door schedule for existing door servicing notes & details.

KEY FOR WALL REFERENCE

- Existing walls, allow to glaze & paint finish as per Design Consultants instructions.
- Existing aluminium fixed glazing wall. Allow to protect from damage during construction.
- New 200 x 50mm timber framing with 13mm Gib board from inside, painted finish & 12mm Hardies board from outside, plastered & painted finish as per new colour scheme.
- New Aluminium framed fixed glazing wall, as per wall section & details.
- New 92mm Rondo steel stud-wall with 13mm Gib board from both-sides, painted finish as per new colour scheme.
- New 100 x 50mm PVC Wall Slats @ 100mm apart.
(Code: JF-402)
Supplier: Vinod Patel.

KEY FOR FLOOR FINISHES

- Godfrey Hirst 500 x 500mm Nylon Carpet Tiles. Refer Image Reference. Contractor to supply & install with approved glue.
Approx. Area = 359m²
- Selected 600 x 600mm Non-Slip Ceramic floor tiles, Contractor to supply & install including adhesive (Ardex - X56) & grout, with Movement Joint (Code : AMJ-100Alu) @ every 5m ctrs bothways.
Approx. Area = 277m²
- Selected "Autex" Widetrack Heavy Duty Ribbed 1700 x 900 door mat & well with 10 x 10mm aluminium angle all around. Actual location to be confirm on site with Design Consultant.
- Existing concrete floor slab. Make good & paint with selected water-proof paving paint.

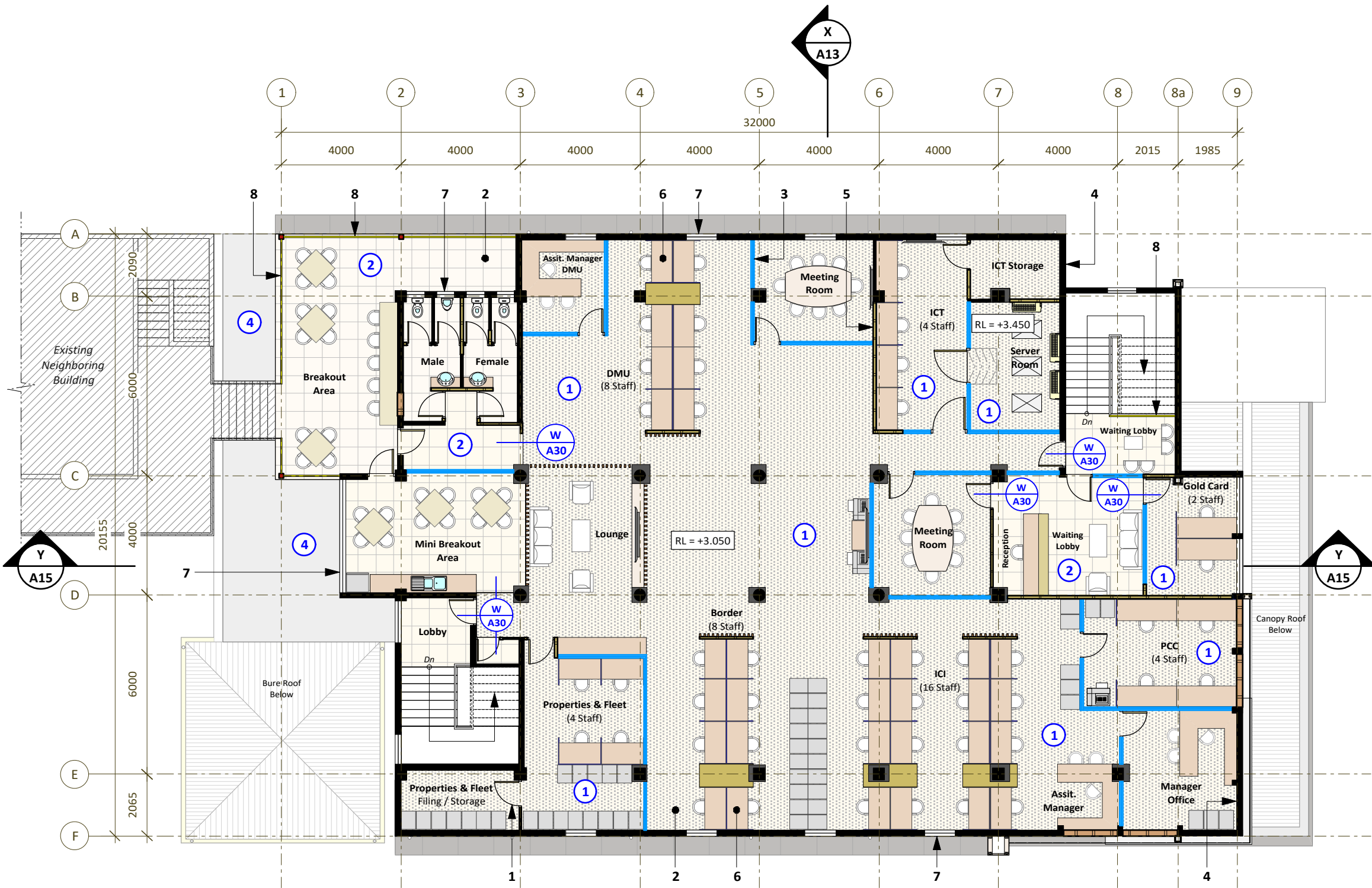
PROJECT NO. 00823	SHEET NO.	A05
DESIGN : B. L.	DRAWN : P. T.	
DATE : JUNE 2024	SCALE : 1:150	
REVISION :		

SHEET TITLE	PROPOSED GROUND FLOOR & FINISHES PLAN
REV.	

PROJECT	FIJI REVENUE AND CUSTOMS SERVICE
DESIGNERS & PROJECT MANAGERS	PROPOSED OFFICE FITOUT & UPGRADE WORKS
LOT 2 & 3 ON SO 2235, TAVEVA AVENUE, KINGS ROAD, LAUTOKA.	

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PROPOSED FIRST FLOOR PLAN
SCALE 1:150

KEY TO EXTERIOR ELEVATIONS	IMAGE REFERENCE

NOTE:

- A. Contractor to inspect the site and take measurements prior to providing a quotation.
- B. Contractor to liaise with Owner and cater away all demolished materials if not required by Client.
- C. Whole of interior & exterior walls to be painted finish as per Design Consultants instructions.
- D. Allow to provide timber skirting to all internal walls, as per detail.
- E. All floor tiles to be laid as per Design Consultants instruction.
- F. Contractor to allow to make good to all existing walls where new service lines will be installed.
- G. Contractor to allow to provide window blinds to all existing exterior windows. New blinds to match existing.

NUMBER REFERENCE:

- 1. New Door / Window, refer schedule for details.
- 2. New floor finishes on existing concrete floor slab.
- 3. New Aluminium fixed glazing wall as per detail.
- 4. Existing Walls to remain, allow to glaze & paint finish to match new. Allow to protect from damages during construction.
- 5. New Rondo framing walls with 13mm Gib Board from both-sides, painted finish as per new colour scheme. Refer sheet **A21** for Wall Section & Details.
- 6. New joinery, refer to Joinery drawings for layout & details.
- 7. Existing Windows to remain. Allow to protect from damage during construction. Allow to provide new window blinds to exterior windows, new blinds to match existing.
- 8. New Railing as per detail.
- 9. Existing Door to remain. Allow to protect from damage during construction. Refer door schedule for existing door servicing notes & details.

KEY FOR WALL REFERENCE

- Existing walls, allow to glaze & paint finish as per Design Consultants instructions.
- Existing aluminium fixed glazing wall. Allow to protect from damage during construction.
- New 200 x 50mm timber framing with 13mm Gib board from inside, painted finish & 12mm Hardies board from outside, plastered & painted finish as per new colour scheme.
- New Aluminium framed fixed glazing wall, as per wall section & details.
- New 92mm Rondo steel stud-wall with 13mm Gib board from both-sides, painted finish as per new colour scheme.
- New 100 x 50mm PVC Wall Slats @ 100mm apart. (Code: JF-402) Supplier: Vinod Patel.

KEY FOR FLOOR FINISHES

- Godfrey Hirst 500 x 500mm Nylon Carpet Tiles. Refer Image Reference. Contractor to supply & install with approved glue. Approx. Area = 465m²
- Selected 600 x 600mm Non-Slip Ceramic floor tiles, Contractor to supply & install including adhesive (Ardex - X56) & grout, with Movement Joint (Code : AMJ-100Alu) @ every 5m ctrs bothways. Approx. Area = 91m²
- Selected "Autex" Widetrack Heavy Duty Ribbed 1800 x 900 door mat & well with 10 x 10mm aluminium angle all around. Actual location to be confirm on site with Design Consultant.
- Existing concrete floor slab. Make good & paint with selected water-proof paving paint.

PROJECT NO. 00823	SHEET NO.	A07
DESIGN : B. L.	DRAWN : P. T.	
DATE : JUNE 2024		SCALE : 1:150
REVISION :		

PROPOSED FIRST FLOOR & FINISHES PLAN

REV. :

FIJI REVENUE AND CUSTOMS SERVICE
PROPOSED OFFICE FITOUT & UPGRADE WORKS
LOT 2 & 3 ON SO 2235, TAVEVA AVENUE,
KINGS ROAD, LAUTOKA.

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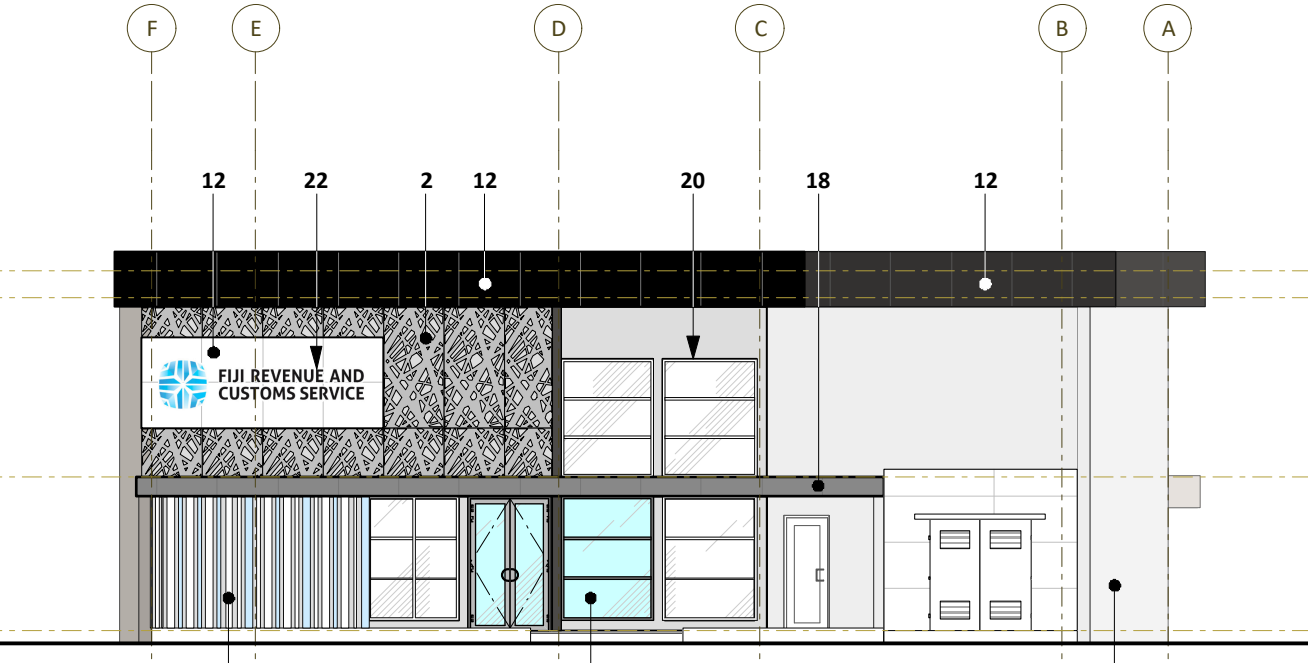
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EXISTING FRONT ELEVATION
SCALE 1:150



PROPOSED FRONT ELEVATION - A
SCALE 1:150

KEY NUMBER REFERENCING

1. 200 x 50mm Timber framing wall @ 600 ctrs. bothways (to seal-off existing openings) with 13mm Gib board from inside, painted finish & 12mm Hardies board from outside, flushed with existing wall, plastered with chicken wire mesh sandwiched in between & painted finish as per Design Consultants instructions.
2. New 16mm PVC perforated decorative panel with 2 pac spray paint finish, fixed over 40 x 40mm galvanised tubing, tubing to be spray painted finish.
6. Existing Walls to remain, allow to glaze & paint finish to match new colour scheme. Allow to protect from damages during construction.
7. New floor finishes on existing concrete floor slab. Refer floor plan for finishes plan & details.
12. Aluminium Composite cladding fixed with Liquid nail glue over 9mm hardiflex board. Sample to be approved by Design consultant. Hardiflex board screw fixed with approved screws @ 200 ctrs. bothways.
13. Existing Columns, allow to glaze & paint finish to match new colour scheme.
15. Existing Concrete Beams, allow to protect from damage during demolition works. Make good to damages & prepare surface for new roof framing works.
18. New Aluca bond panels on existing Canopy, fixed with Liquid nail glue over 9mm hardiflex board. Sample to be approved by Design consultant. Hardiflex board screw fixed with approved screws @ 200 ctrs. bothways over existing canopy framing.
19. New Door / Window as per schedule.
20. Existing Windows to remain as is. Allow to protect from damage during construction. Allow to cover with temporary cover during construction / new painting works.
21. New Ex. 75 x 25mm & Ex. 150 x 25mm timber Slats with 2 pac spray painted finish, timber Slats screw fixed respectively over wall @ 80mm apart with approved screws.
22. Singage by others.

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PROJECT

FIJI REVENUE AND CUSTOMS SERVICE
PROPOSED OFFICE FITOUT & UPGRADE WORKS
LOT 2 & 3 ON SO 2235, TAVEWA AVENUE, KINGS ROAD,
LAUTOKA.

SHEET TITLE

ELEVATIONS

REV.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

DESIGN : B. L

DRAWN : P. T

DATE : MAY 2024

SCALE : 1 : 150

REVISION :

PROJECT NO. : 02224

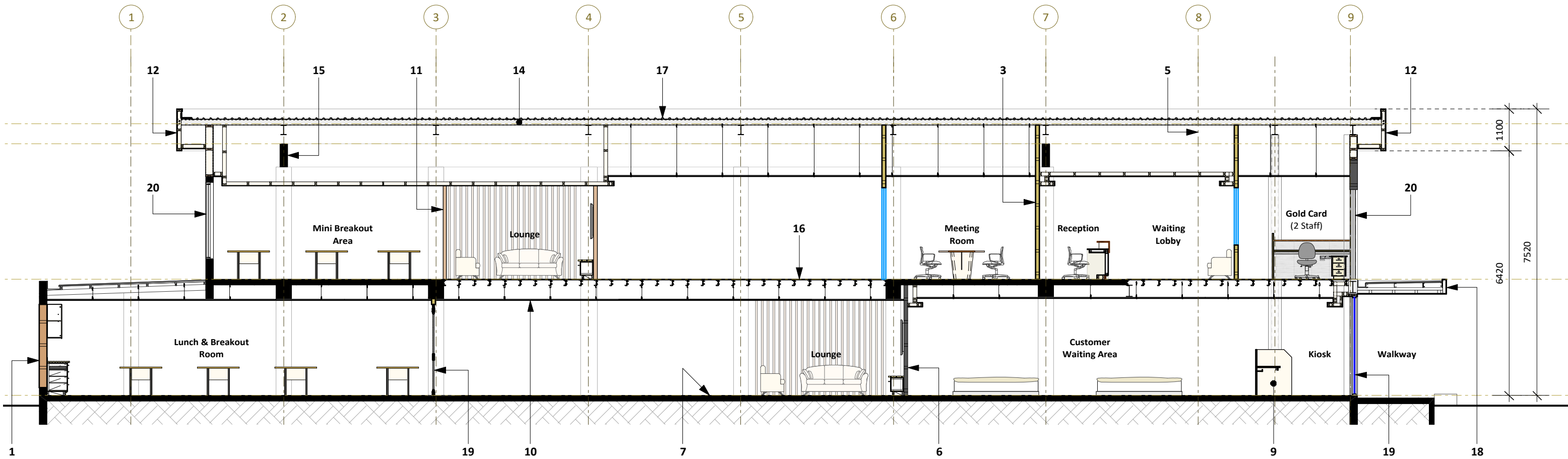
SHEET NO.

A09



1. 200 x 50mm Timber framing wall @ 600 ctrs. bothways (to seal-off existing openings) with 13mm Gib board from inside, painted finish & 12mm Hardies board from outside, flushed with existing wall, plastered with chicken wire mesh sandwiched in between & painted finish as per Design Consultants instructions.
2. New 16mm PVC perforated decorative panel with 2 pac spray paint finish, fixed over 40 x 40mm galvanised tubing, tubing to be spray painted finish.
6. Existing Walls to remain, allow to glaze & paint finish to match new colour scheme. Allow to protect from damages during construction.
7. New floor finishes on existing concrete floor slab. Refer floor plan for finishes plan & details.
12. Aluminium Composite cladding fixed with Liquid nail glue over 9mm hardiflex board. Sample to be approved by Design consultant. Hardiflex board screw fixed with approved screws @ 200 ctrs. bothways.
13. Existing Columns, allow to glaze & paint finish to match new colour scheme.
15. Existing Concrete Beams, allow to protect from damage during demolition works. Make good to damages & prepare surface for new roof framing works.
18. New Aluca bond panels on existing Canopy, fixed with Liquid nail glue over 9mm hardiflex board. Sample to be approved by Design consultant. Hardiflex board screw fixed with approved screws @ 200 ctrs. bothways over existing canopy framing.
19. New Door / Window as per schedule.
20. Existing Windows to remain as is. Allow to protect from damage during construction. Allow to cover with temporary cover during construction / new painting works.
21. New Ex. 75 x 25mm & Ex. 150 x 25mm timber Slats with 2 pac spray painted finish, timber Slats screw fixed respectively over wall @ 80mm apart with approved screws.
22. Singage by others.
23. New Stainless steel railing with laminated fixed glass panels, refer enlarge railing drawings for sizes, height & fixing details.
24. New Steel Post painted finish as per new colour scheme. Refer Structural drawings for size & fixing details.
25. Existing steel post, allow to glaze & paint finish as per new colour scheme.
27. New 100 dia. PVC downpipe bracket to wall @ max. 1m ctrs. Allow to paint paint finish to match building colour.

DESIGN	: B. L	PROJECT NO. : 0222
DRAWN	: P. T	SHEET NO.
DATE	: MAY 2024	A11
SCALE	: 1 : 150	
REVISION	:	



PROPOSED LONG SECTION
SCALE 1:100

Y
A05

KEY NUMBER REFERENCING							
1. 200 x 50mm Timber framing wall @ 600 ctrs. bothways (to seal-off existing openings) with 13mm Gib board from inside, painted finish & 12mm Hardies board from outside, flushed with existing wall, plastered & painted finish with chicken wire mesh sandwiched in between.	3. New 92mm Rondo framing wall with 13mm Gib board from both sides, painted finish as per Design Consultants instructions.	6. Existing Walls to remain, allow to glaze & paint finish to match new colour scheme. Allow to protect from damages during construction.	9. New Joinery units, refer to Joinery Drawings for joinery units layout & details.	12. Aluminium Composite cladding fixed with Liquid nail glue over 9mm hardiflex board. Sample to be approved by Design consultant. Hardiflex board screw fixed with approved screws @ 200 ctrs. bothways.	15. Existing Concrete Beams, allow to protect from damage during demolition works. Make good to damages & prepare surface for new roof framing works.	17. RPFL Superdek Color-bond roof cladding over Pink Batts Classic R 2.2 control blanket over Kingspan Air-Cell Insulwhite XL TM thermal insulation install as per manufacturers specifications, over chicken wire mesh.	19. New Door / Window as per schedule.
2. New 16mm PVC perforated decorative panel with 2 pac spray paint finish, fixed over 40 x 40mm galvanised tubing, tubing to be spray painted finish.	4. Box gutter with 1.0mm thick Butynol all around, over 18mm compressed sheet board. Refer Structural drawings for details.	7. New floor finishes on existing concrete floor slab. Refer floor plan for finishes plan & details.	10. New selected Suspended ceiling boards on proprietary tracks fixed as per manufacturers specifications. Refer ceiling plan for ceiling layout & details.	13. Existing Columns, allow to glaze & paint finish to match new colour scheme.	16. New Steel Joists with 80mm Heavy Duty Bradford wall insulation in-between framings, & 18mm Compressed Sheet Boards with tile finishes over. Refer Structural drawings for Joist sizes, spacings & fixing details.	18. New Aluca bond panels on existing Canopy, fixed with Liquid nail glue over 9mm hardiflex board. Sample to be approved by Design consultant. Hardiflex board screw fixed with approved screws @ 200 ctrs. bothways over existing canopy framing.	
	5. New UB Rafters. Refer Structural drawings for sizes & fixing details.	8. 0.42 bmt Color-bond Ridge cap flashing with flash-guard installed as per manufacturers specifications.	11. New PVC Wall Slats. Refer enlarge Slats drawings for sizes, layout & fixing details.	14. New Steel Purlins. Refer Structural drawings for sizes, spacings & fixing details.			
			20. Existing Windows to remain as is. Allow to protect from damage during construction. Allow to cover with temporary cover during construction / new painting works.				

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PROJECT

FIJI REVENUE AND CUSTOMS SERVICE

PROPOSED OFFICE FITOUT & UPGRADE WORKS

LOT 2 & 3 ON SO 2235, TAVEWA AVENUE, KINGS ROAD, LAUTOKA.

SHEET TITLE	
PROPOSED SECTION	
REV.	

DESIGN	: B. L	PROJECT NO. : 02224
DRAWN	: P. T	SHEET NO.
DATE	: MAY 2024	A15
SCALE	: AS SHOWN	
REVISION	:	

